



Angas Views
ESTATE

- URBAN DESIGN GUIDELINES -

V2.1 - MAY 2018



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ABOUT THE DEVELOPMENT GUIDELINES

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1.1 Purpose of the Development Guidelines

The Guidelines are provided to assist purchasers, designers and builders. They aim to create quality built outcomes that together with the surrounding natural environment, enhance the community lifestyle over time. They encourage consistency of the quality of dwellings and gardens.

The Guidelines should be used in conjunction with the Barossa Council Development Plan as it provides a full range of development controls for residential development in this area which includes the Development Act 1993 and Development Regulations 2008.

The Guidelines address the quality of the built form and landscape both in terms of appearance and the achievement of sustainability initiatives.

These Guidelines form part of a Land Management Agreement and Encumbrance that is attached to the Certificate of Title of all allotments within Angas Views Estate. Accordingly, all purchasers are contractually obligated to comply with these Guidelines.

The Guidelines have been developed to allow a sufficient level of flexibility that can cater for individuality and personal choice for purchasers and designers.

1.2 Development Guidelines Structure

The structure of the Development Guidelines follows the design process and is set out as follows:

ABOUT THE DEVELOPMENT GUIDELINES

A background to the development guidelines and its role in the approving of your development.

DESIGNING FOR YOUR BLOCK

How to best design and site your dwelling to create your dream home.

SUSTAINABILITY PRINCIPLES

A sustainability focus for development of all dwellings.

BUILDING ON YOUR SITE

Steps to maintain a safe, orderly and environmentally responsible building site.



1.3 Development Approval Process

BUILDING TIME LIMITS

You must commence construction of a dwelling on your Angas Views Estate allotment within 18 months of settlement on your allotment.

When you complete settlement of an allotment within Angas Views Estate, you will note that a Land Management Agreement (LMA) and Encumbrance including these Development Guidelines has been registered on the Certificate of Title. These documents require that prior to commencement of any development on your allotment you must, in addition to a Development Approval, have satisfied the requirements of this Encumbrance and LMA.

If it is uncertain whether or not a proposed development (development/construction) adheres to the requirements of these Development Guidelines, a sketch or concept plan could be provided to and assessed by the Encumbrance Manager before drawings are finalised for formal submission. This is to ensure the process is streamlined to avoid additional costly design work.

Angas Views Estate has nominated an Encumbrance Manager to provide guidance with, and interpretation of, as well as ensuring compliance with these Guidelines.

The Encumbrance Manager is available to provide advice on how to take greater advantage of your site's opportunities and to help you address any matters in the Guidelines.

Contact details for the Encumbrance Manager are shown on the Design Guidelines application form included in the attachments.

In assessing applications relative to the Development Guidelines the Encumbrance Manager may agree to approve proposals that do not conform to the Guidelines.

THE APPROVAL PROCESS

Please refer to Appendix E at the end of this document for a chart explaining the approval process.



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DESIGNING FOR YOUR BLOCK

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2.1 Siting of your dwelling

BUILDING ENVELOPE AND SET-BACKS (SEE ALSO VALLEY ROAD PROVISIONS LATER IN THIS DOCUMENT)

A building envelope is specified for each allotment that shows the area of the site within which your dwelling should be located (refer to Appendices B and C). The siting of your dwelling needs to comply with the building envelope setbacks in order to gain Encumbrance Approval.

Each envelope indicates the following:

- The minimum setback from each boundary for one and two storey developments;
- Appropriate locations for any building to the boundary for garage/carports;
- Location of driveway for specified allotments only.
- Split level design designation

The building envelope and setbacks indicated in the plan within Appendices B & C is relevant for all building and structures (excluding porticos and bay-windows) but excluding eaves.

SITE COVERAGE

The proposed development should be sited to allow for sufficient area to cater for both private open space and landscaping space on the site.

PRIVATE OPEN SPACE (POS)

Private Open Space requirements are set by Barossa Council. Purchasers are advised to contact them accordingly.

VALLEY ROAD ALLOTMENTS

Special consideration must be given to allotments fronting Valley Road. These special conditions are intended to provide greater certainty about the design and siting of homes in part of the Estate with frontage to Valley Road and how those houses interact with Valley Road and rural land on the opposite side of the road.

When designing or selecting your home it is important to consider how to best design your home to take advantage of the outstanding views from your land while taking into account the potential impacts of nearby primary production activities.

Setting the house well back from the road frontage and landscaping the front setback space in accordance with these guidelines will assist in minimising those impacts to an acceptable degree. Your builder or architect will be able to help you to consider related aspects such as:

- Taking advantage of features such as views and established trees;
- Creating an attractive and spacious character through the appropriate sizing and setback of your home to the street and the rural landscape opposite your site;
- Designing to complement the allotment's gentle slope and minimising the need for earthworks and retaining walls;
- Using the sun's energy to warm your home in winter and create pleasant indoor and outdoor living areas, by designing to take advantage of northern orientation; and
- Protecting your privacy and the privacy of your neighbours.

BUILDING ENVELOPES AND SETBACKS FOR VALLEY ROAD ALLOTMENTS

The diagrams shown in Appendix C have been prepared for the Valley Road allotments. Each diagram shows a Building Envelope i.e. the area of the allotment within which your home should be sited. Each Building Envelope plan indicates:

- The minimum set-back from each boundary for one and two storey developments;
- Appropriate locations for any shed, garage or outbuilding forward of the house;
- Location of driveways;
- Front, side and rear fencing requirements; and
- Landscaping requirements.

The siting of your Valley Road home must comply with the nominated set-backs for your allotment as detailed on one of the four Building Envelope Plan diagrams shown in Appendix C.

- Building Envelope Plan for corner allotment 37;
- Building Envelope Plan for corner allotment 50;
- Building Envelope Plan for allotments 38 - 49 and 51 - 57.
- Building Envelope Plan for corner allotment 58;
- Building Envelope Plan for allotments 65, 66 and 67 detailed split level home annotation

Outbuildings should be located to the side or rear of your home, with a minimum setback of 1.5 metres from the side or rear boundaries. Where sited forward of the main dwelling, an attached or free-standing garage or carport should be sited 1.5 metres from the side boundary and at least 10.0 metres from the front (Valley Road) boundary, to allow for effective landscaping and to screen the garage or carport from public view.

Any garage or carport located forward of the main dwelling should not exceed 150 square metres floor area.

Alternatively, it is acceptable to locate an under-main-roof garage or carport in front of the house, provided that the garage or carport as the case may be is set-back at least 10 metres from Valley Road, and 1.5 metres from the side boundary.

2.2 Building Requirements

These Guidelines encourage the design of a dwelling to be based on the orientation or location of the site. The use of different levels, articulation, placement of windows and spaces and indoor-outdoor living spaces etc, can all be advantageously implemented to improve the purchaser's quality of life through views and allowing for maximum natural light.

Through site responsive design the purchaser also has the opportunity to reflect their surrounding environment, while maintaining a high level of individuality, through a variety of material, colour and finish choices.

No dwelling shall exceed two (2) storeys.

Addressing the Street and Public Spaces

Front dwelling façades must include a strong entrance feature which could incorporate:

- Portico
- Verandah
- Timber Posts or Stone Walling

The main pedestrian entry (front door) must be visible from the primary street frontage.

DOUBLE STOREY

Any second storey above the ground floor must incorporate some form of recess or cantilever to provide articulation to all building elevations. Sheer double storey walls are not supported and will not be approved by the Encumbrance Manager.

The second storey could include lightweight elements in a contrasting material to the ground floor in order to reduce visual bulk.

No direct overlooking shall occur from second storey windows or balconies into adjacent habitable room windows.

Care must be taken with overlooking from upper storey windows or balconies into neighbouring open space. Fixed obscure glass or adequate screening is to be provided to a minimum of 1.5m above the finished floor level or as specified from time to time in Council's Development Plan. (In case of conflict, Barossa Council Development Plan will prevail.)

HEIGHT & SCALE

To limit overshadowing and infringement on the privacy of neighbours it is necessary that the heights of dwellings be guided by the following maximum heights:

- Single Storey: 6.0m to the roof ridgeline; and
- Two Stories: 9.0m to the roof ridgeline.

ROOF DESIGN AND PITCH

The roof pitch of dwellings on allotments with a frontage of 16 metres or less should be a minimum of 25 degrees unless the architectural merits of the design justify a lower pitch.

The roof pitch of dwellings on allotments with a frontage greater than 16 metres should be a minimum of 22 degrees unless the architectural merits of the design justify a lower pitch.

Innovative roof designs such as curved, flat or skillions will be assessed on their merit.

In the absence of shading devices or the like as approved by the Encumbrance Manager, all roofs must be designed having a minimum eaves width of 450mm (inclusive of guttering) on the northern, western and eastern elevations. Double storey dwellings must include eaves around the entire perimeter of the second level.

Corner lot dwellings must include minimum 450 mm eaves to both secondary street or reserve frontage unless otherwise approved by the Encumbrance Manager.



EXTERNAL PLUMBING

All two storey homes must conceal all plumbing such as waste pipes and vents within the wall cavities.

CORNER LOTS

Dwelling façades on the secondary street frontage must adopt the architectural detail similar to the front façade, i.e. verandahs, gables, window treatments etc. for a minimum distance of 3 metres back from the front line of the dwellings.

SLOPING BLOCKS

- Minimise streetscape impacts by exposed and highly visible excavation
- Minimise retaining wall height
- Consider split level design
- Adopt sensitive and site specific landscaping schemes

Building Materials

WALL MATERIAL

Minimum of two of the following materials:

- Contemporary face brick or bagged brick;
- Rendered & painted masonry/ fibre cement sheeting;
- Stone or stone render;
- Appropriately treated timber or weather board;
- Pre-coloured corrugated metal sheeting;
- Galvanized corrugated sheeting as highlights only; and
- Other materials will be assessed on their merits.
- The following materials are NOT permitted for dwelling façades:
- Unpainted or un-rendered cement sheeting or similar;
- Galvanised steel; and
- Used or second-hand materials, asbestos cement, fibreglass, plastic or rubber or any material of a like nature.

ROOF MATERIALS:

- Tiles;
- Pre-coloured corrugated profile sheeting;
- Roof tiles and sheets colour must complement the dwelling's style; and
- No galvanized iron permitted.

COLOURS

With respect to the dwelling's colour:

- At least two complementary colours applied in an appropriate scheme should be used on the façade (including gutters); and
- Bright and highly contrasting colours should not be used. Colours should complement the vision of the estate.

Garages and Vehicle Parking

CAR ACCOMMODATION

Must be provided in accordance with the following:

- Be located in accordance to the Building Envelope Plan;
- Minimum of two car accommodation for all lots with one being undercover;
- Garage must be setback a minimum of 500mm behind the main building line and setback a minimum of 6.5m from the front boundary. Carports or garages may be built in line with the front of the home if there is a two storey component above;
- Garages and carports must be provided either under the main roof or if freestanding, the roof form and materials must match those of the associated dwelling;
- The car accommodation must not form more than 60% of the total front facade on single storey homes; and

- In respect to carports, these are required to have corner pillars that must match the style of the dwelling in terms of material and colour and must be enclosed to the street (roller or panel lift door).

COMMERCIAL VEHICLE, BOAT AND CARAVAN PARKING

No commercial vehicle, boat or caravan will be stored forward of the dwellings primary street alignment.

2.3 Around Your Home

FENCING

The edges of your allotment represent an extension of the design of your dwelling and fences and retaining walls are an integral part of the design and their appearance. If fencing is not designed in a coordinated manner it can undermine the quality appearance of your property.

Fencing to side and rear boundaries is mandatory and must be completed prior to occupation of the dwelling.

If front fences are to be erected as part of the building scheme they must:

- Be of a height no greater than 1.2 metres above natural ground level.
- Incorporate a mix of at least two different materials in the construction such as masonry, stone and/or timber.
- Incorporate visually permeable panels to at least 80 percent of the allotment frontage.

Front fences must not be constructed of:

- Colorbond or similar pre-coated solid metal sheet material.

Side fences must be:

- 1.8m high colour coated good neighbourhood fencing – “Greyridge” or similar colour.
- Set back a minimum of 0.3m behind the main building line.

Rear fences must be:

- 1.8m high colour coated good neighbourhood fencing – “Greyridge” or similar colour.

Corner Lots

- Solid fencing to secondary street frontage is to commence 1.0 metres back from the front line of the dwelling.

RETAINING WALLS

Some allotments at Angas Views Estate have a variable slope, and care needs to be taken to ensure a harmonious connection between the buildings and landform, to optimise amenity and to minimise impacts on neighbours and the landscape.

Split level designs that work with the slope of the land are better than single level designs, because they minimise the need for cut and fill. They can also minimise the bulkiness of the building if designed well.

However, some sites may require retaining walls alongside the property boundary to create level surfaces for driveways, landscaping and private open space.

Retaining walls should be built using stone, masonry or concrete sleepers to a maximum height of 1.0 metre.

Timber railway sleepers should not be used, because they tend to deteriorate over time and can sometimes house termites.

To limit the overall height of retaining walls, a series of smaller walls in the form of terraces can often achieve a more visually pleasing outcome, especially if used in combination with effective landscaping.

It is always best to construct retaining walls before house construction starts. This will make it easier during site works.

Additionally, length and height of your retaining walls should be limited where possible.

It is important to consider the position of retaining walls when designing the house and gardens.

OUTBUILDINGS AND OUTDOOR STRUCTURES

- Maximum of 40 square metres floor area for lots up to 425sqm and a maximum 55 square metres for allotments over 425sqm provided private open space requirements are still met. All sheds must have a maximum wall height of 3m and total height to ridgeline of 4.5m.
- Shed colours should match or be complimentary to the fence or dwelling.
- Outbuildings on secondary street boundaries must be setback a minimum of 900mm.

ANCILLARY STRUCTURES

TV antennae, satellite dishes, clothes lines, rainwater tanks, air conditioner units are to be located in such a manner they have minimal impact from a street or park frontage.

Air conditioning unit should be located where possible towards the rear of the property and fitted with noise baffles where appropriate.

DRIVEWAYS

Driveways and car parking are an important consideration in the design of your home. They need to address the conditions of your site; but they should not dominate the appearance of your home or where applicable, views from Valley Road.

The following guidelines apply:

- Single width crossover of 4.0 metres (e.g. area between the gutter and the driveway to the front allotment boundary);
- All driveways are to be offset a minimum of 500mm from the side boundary;
- Material finishes to be either or a combination of coloured concrete, exposed aggregate or pavers;
- Driveways must abut and not be cut through any pedestrian footpath;
- Driveways must be completed within 3 months of occupation of the dwelling; and
- Driveway locations nominated on Building Envelope plans in Appendix B.
- The alignment of the driveway should be directly aligned with the crossover where possible.

LANDSCAPING

All landscaping features should be designed to complement the landscape character of the Angas Views Estate project. The design can consist of a mixture of native and exotic plants, with a focus on maximising green soft planting and minimising hard landscape elements such as paving and concrete.

There should be a sense of coordination and integration regarding the style of landscape design which should be evident throughout the property.

Front yard landscaping and gardens visible to the street should be designed with the following criteria:

- Landscaping of the front garden (e.g. between the front dwelling facade and the front allotment boundary) is to be substantially commenced within 6 months after occupation of the dwelling;
- **Valley Road Allotments**
The semi-rural character of the Valley Road allotments will be significantly enhanced through your garden landscaping. The landscape design of each allotment fronting Valley Road is an opportunity to complement the special quality of the area as a whole and will ensure that each house is better integrated into the environment. Landscaping forward of the house will also help to minimise any adverse impacts associated with the viticultural use of land on the opposite side of Valley Road.
- The use of appropriate plants and irrigation methods to complement the surrounding environment and reduce the usage of water is encouraged.
- However, the style and appearance of landscaping is as individual as every resident, so flexibility regarding the selection and placement of plant species is paramount.

Landscaping, including trees, shrubs and gardens beds must be established within six (6) months of occupation of the home. This will provide enough time to establish new planting in the cooler months.

The owner must replace street trees damaged during building activity or removed for driveways with the same species in the street. It will be important to discuss removal with Council prior to any works to be undertaken which would affect the health of the street trees, as the trees are owned and maintained by the Council. Council may also not consent to the removal of any street tree due to the provision of roll-over kerbing within Angas Views.



The planting palette for the front yards of each Valley Road allotments is to be landscaped broadly in accordance with the indicative layout shown in Appendix E.

The front yard of each of the Valley Road allotments is to be landscaped broadly in accordance with the indicative layout shown in Appendix C and are to be considered indicative only.

Landscape establishment for allotments fronting Valley Road should be carried out substantially in accordance with Angas Views Estate - Landscape Plant List in Appendix D;

Consider permeable pavements wherever practicable.

PLANT SELECTION

- You are encouraged to select all plants for the front garden from the 'Angas Views Estate Landscape Plant List' (Refer to Appendix D).

ESTABLISHMENT AND MAINTENANCE

- You shall at all times thereafter maintain, keep tidy and care for the front yard landscape and garden visible to the street; and
- You must act in good faith in determining the standard acceptable for the purposes of maintaining the front yard landscape.



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SUSTAINABILITY PRINCIPLES

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3.1 Building Design

Outlined below are ways of making a difference and improving the sustainability and comfort of your dwelling through passive building design techniques, water conservation, sustainable landscaping and the adoption of renewable energy initiatives.

ORIENTATION AND WINTER SOLAR GAIN

Correctly orientating your dwelling to harvest the sun's warmth in winter and maximise your dwelling's ability to capture cooling breezes in summer will help maintain a natural comfortable temperature within your dwelling through every season with minimal assistance from heating and cooling.

All daytime living spaces including living, kitchen, dining, family, study areas and outdoor spaces/courtyards should maximise orientation to the north and face private open space areas in order to have access to daylight and solar access gain all year round.

WINDOWS/GLAZING

Windows (and doors) provide the important benefits of access to light, heat, air and views. Maximising the benefit depends on orientation, shading, size, quality, and the area of glass relative to both the floor area and solid wall area. Walls that do not have exposure to winter sun should have less glazing.

The use of double glazing (particularly for windows to living areas and bedrooms) or comfort glass or a similar product that achieves a higher level of thermal performance than standard glass is recommended.

High thermal performance window (and door) framing options include the following:

- Timber or UPVC; and
- Aluminium, thermally improved (thermal break).

SHADING

Internal comfort during warmer months requires that windows facing north, east and west are effectively shaded.

Consider appropriate design techniques to avoid heat gain whilst maintaining your views. Techniques include eaves, shading devices, verandahs, balconies, window shades, double glazing windows, blinds and vegetation around the home.

Eaves with a minimum width of 900mm to the north, west and east sides of the home are most effective and are recommended.

VENTILATION, SEALING AND ZONING

Zoning of living areas is recommended by incorporating doors between internal 'zones' e.g. separate living, sleeping and utility areas to facilitate improved efficiency of heating and cooling systems.

The home design should encourage a layout and external openings that provide for cross ventilation and provide low and high level openings to provide for vertical ventilation. In summary, cooler air enters through the low openings and pushes the warmer air out through the higher openings.

Installing windows and doors with high quality fully sealing devices will also improve thermal performance and generate comfort.

INSULATION

Use of insulation in walls of R2.0 and minimum in ceilings R3.5 will help improve thermal performance. This is a very cost-effective option to make your home more comfortable and energy efficient and is recommended.

Types of wall insulation available include rockwool, glasswool, sheeps wool, cellulose fibre, reflective foil sheets, sislation and aircell.

Insulated roofs fitted with reflective foils and with bulk or proven similarly acting insulation products will reduce the impact of high levels of solar radiation and other heat gain and loss.



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BUILDING ON YOUR SITE

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DISPOSAL OF EXCAVATED MATERIAL

- Spoil that has been excavated during construction of footings or landscaping must not be placed or stored on adjoining properties unless written approval has been given by the property owner;
- Spoil must be removed immediately if possible;
- The spoil collected and stockpiled must be covered or watered to prevent dust from spreading into adjoining allotments;
- Spoil must not be stockpiled within 1m of a street tree or associated landscape;
- Spoil that is stockpiled on vacant land must be scraped clean to its original state with all traces of spoil removed once completion of the property has been achieved; and
- Failure to remove spoil upon the completion of the property. Council may arrange for removal and charge the property owner for removal of the spoil.

DAMAGE TO FOOTPATHS, DRIVEWAYS CROSSOVERS AND STREETScape PLANTING

It is the owner's responsibility to rectify any public footpaths, driveway crossovers and streetscape planting if damaged during the construction of the dwelling.

INCURRED COSTS

Costs associated with the relocation, removal or establishment of any infrastructure services, utilities, street trees, landscaping, footpaths, kerbing, fencing, retaining walls, driveways etc that are required due to the design and siting of the dwelling must be paid for by the purchaser/owner.

Any owner works as per above must satisfy the overall vision of the site, thus construction must match existing infrastructure in terms of colour and material choices as well as location etc.



- APPENDICES -

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Appendix A

Encumbrance Submission Form

To be submitted to: Encumbrance Manager
PO Box 382
Tanunda SA 5352
or admin@lindnergroup.com.au

SITE DETAILS

Lot No _____

Street _____

Suburb _____

BUILDER

Name _____

Postal Address _____

Phone _____ Email _____

OWNER

Name _____

Postal Address _____

Phone _____ Email _____

INFORMATION SUPPLIED WITH THE SUBMISSION FORM

Site Plan Yes No

Floor Plan Yes No

Elevations Yes No

Colour & Materials Schedule Yes No

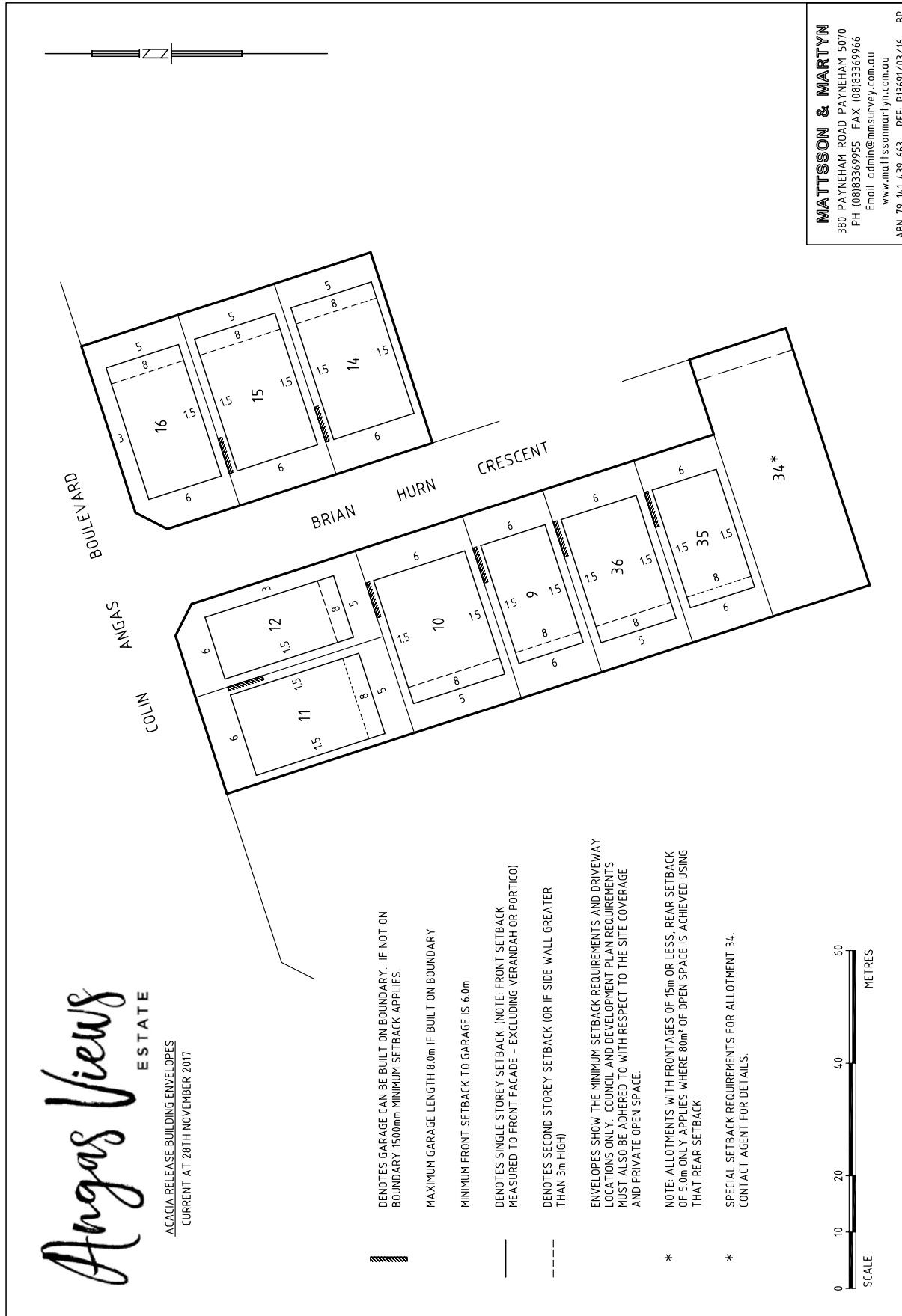
Declaration: All information supplied is correct. Any missing information will delay the processing of this application. I acknowledge I have read the Angas Views Estate Development Guidelines and viewed the Building Envelope Plan relevant to this allotment and adjacent allotments, and declare that the plans hereby lodged have been produced in accordance with the Development Guidelines and Envelope Plan. I acknowledge that the driveway invert location and service connections are already allocated and any cost to change these services will not be covered by the developer, but by either the owner or builder.

Owner _____ Date _____

Builder _____ Date _____

Appendix B

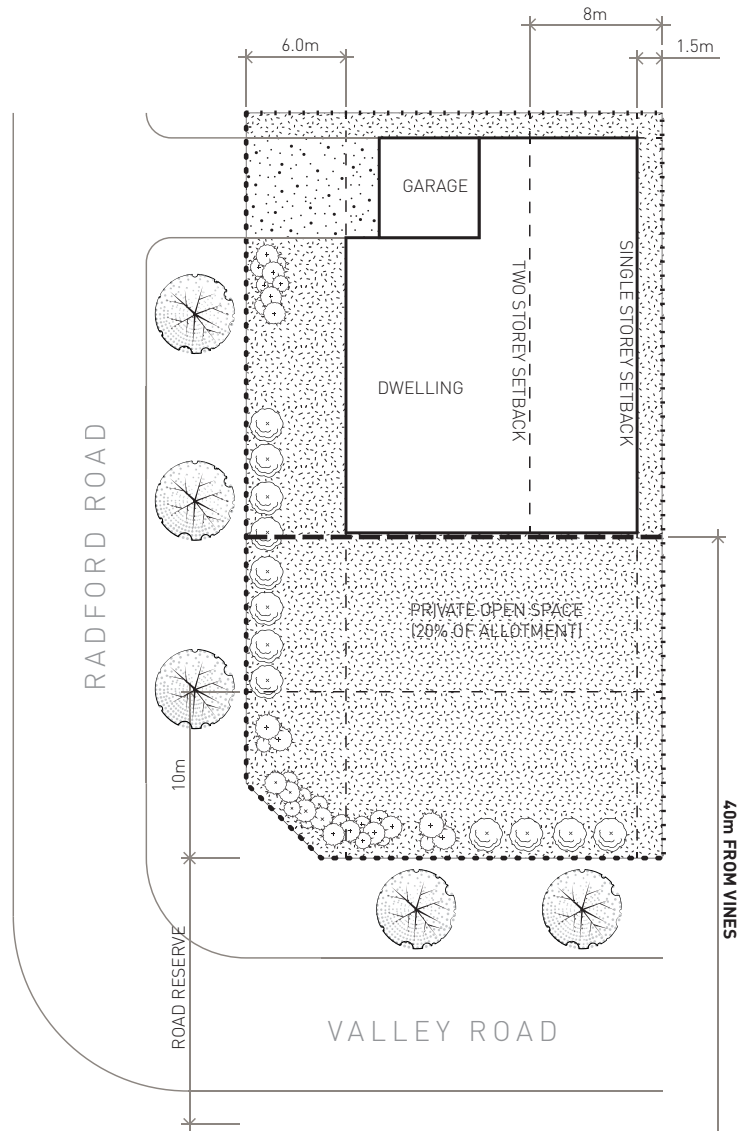
Building Envelope Plan (Not Including Valley Road Lots)














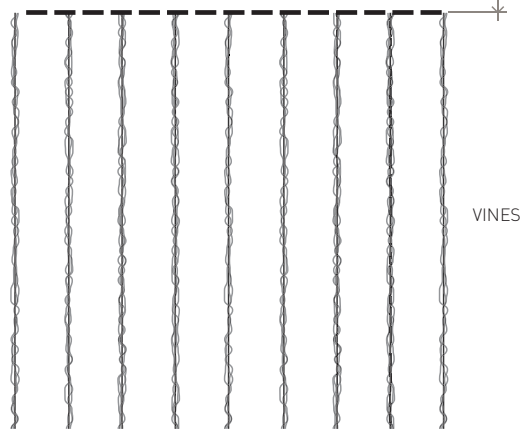
Appendix C

Building Envelope Plan (For Valley Road Lots)

Lot 37



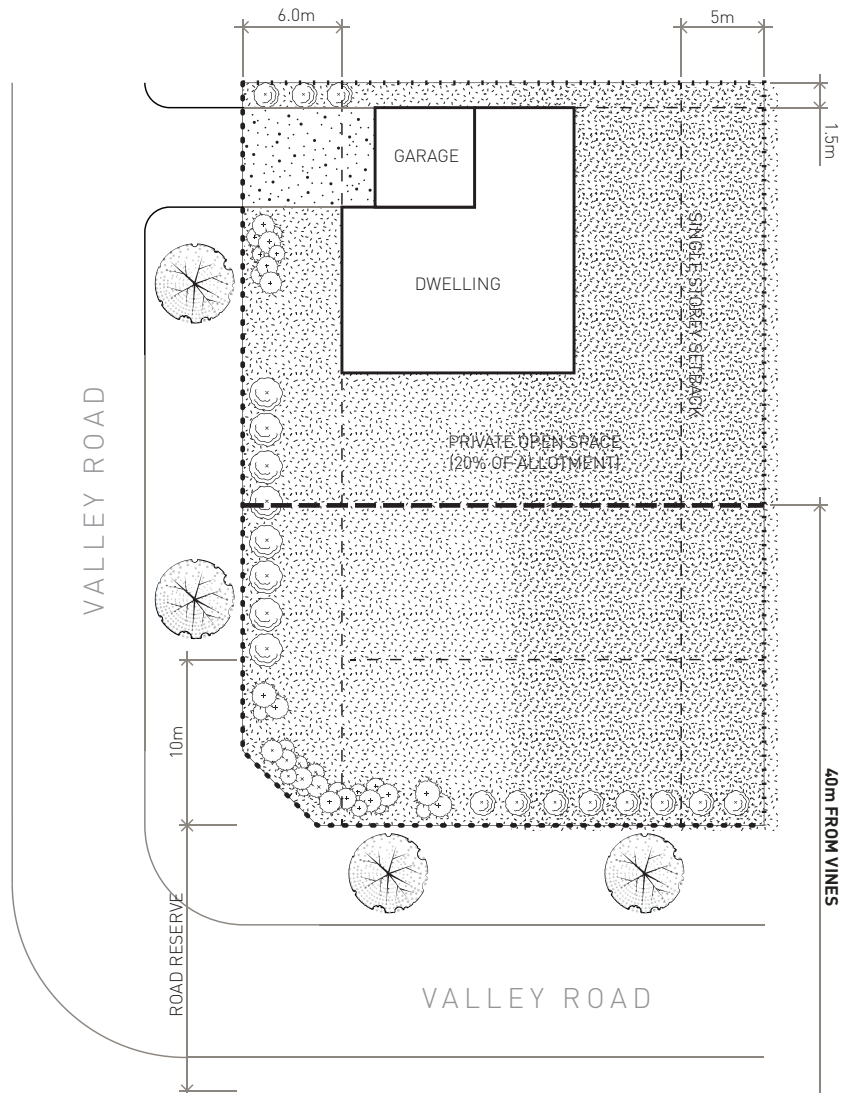
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-  SEALED DRIVEWAY
-  SIDE & REAR FENCE
-  FRONT FENCE
-  LANDSCAPING
-  SHRUB
-  TREE
-  STREET TREE
-  VINES - TYPICAL LAYOUT & ORIENTATION
-  SETBACK
-  40m SETBACK














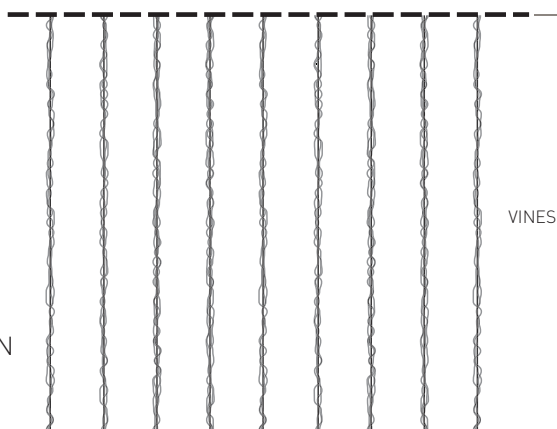
Appendix C

Building Envelope Plan (For Valley Road Lots)

Lot 50



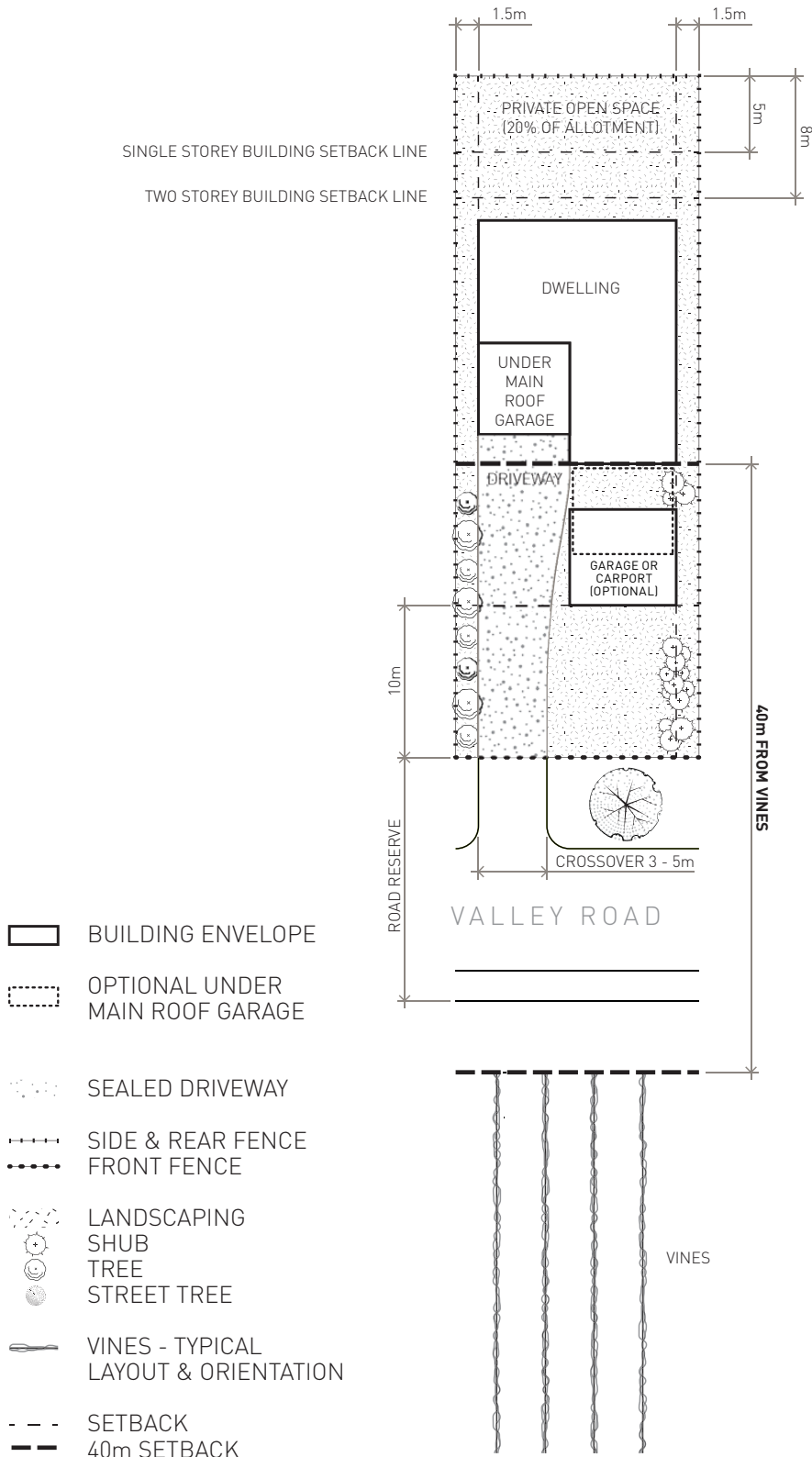
-  BUILDING ENVELOPE
-  SEALED DRIVEWAY
-  SIDE & REAR FENCE
-  FRONT FENCE
-  LANDSCAPING
-  SHRUB
-  TREE
-  STREET TREE
-  VINES - TYPICAL LAYOUT & ORIENTATION
-  SETBACK
-  40m SETBACK



Appendix C

Building Envelope Plan (For Valley Road Lots)

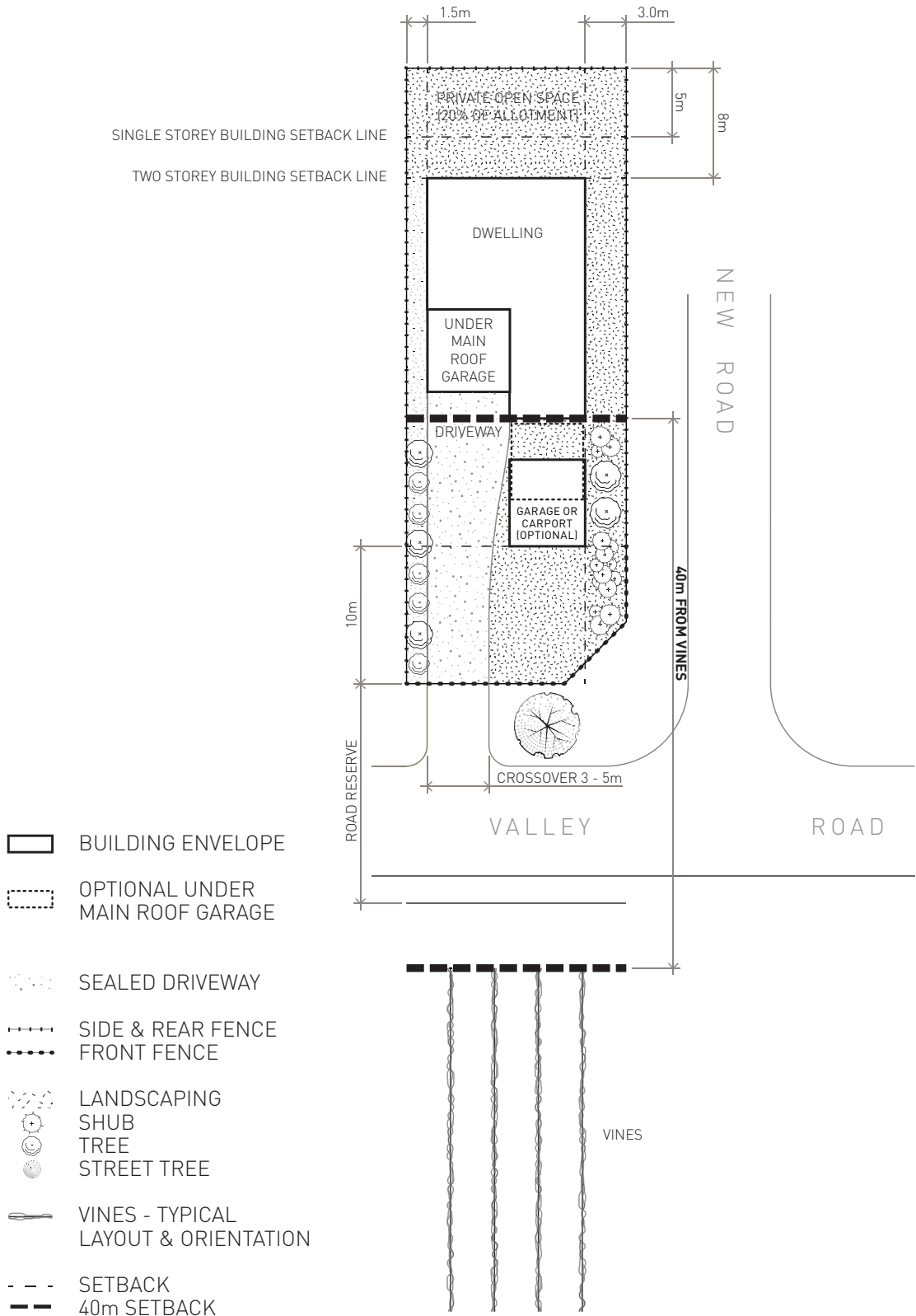
Lots 38-49 & 51-57



Appendix C

Building Envelope Plan (For Valley Road Lots)

Lot 58



Appendix D

Landscape Guidelines

SHRUBS

Botanical Name	Common Name	Approximate Size
<i>Acacia</i> 'Little Nugget'	Acacia	1.0m high x 0.5m wide
<i>Acacia acinacea</i>	Wreath Wattle	1.5m high
<i>Acmena smithii</i> var. <i>minor</i>	Lilly Pilly (variety)	3.0m high x 2.0m wide
<i>Adenanthos sericea</i>	Woolly Bush	1.0m high x 2.5m wide
<i>Austromyrtus inophloia</i> 'Blushing Beauty'	Thready Barked Myrtle	1.5m high x 1.0m wide
<i>Banksia ericifolia</i> (dwarf)	Heath Banksia	0.9m high x 0.9m wide
<i>Banksia petiolaris</i>	Prostrate Banksia	0.4m high x 0.5m wide
<i>Banksia spinulosa</i> (dwarf)	Hairpin Banksia	0.5m high x 0.3m wide
<i>Bursaria spinosa</i>	Sweet Bursaria	2.0m high
<i>Callistemon</i> 'Cherry Time'	Bottlebrush (variety)	1.8m high x 1.5m wide
<i>Callistemon</i> 'Little John'	Bottlebrush (variety)	1.0m high x 1.0m wide
<i>Callistemon</i> 'Splendens'	Bottlebrush (variety)	2.0m high x 1.5m wide
<i>Chamelaucium uncinatum</i>	Geraldton Wax Flower	2.0 – 3.0m high
<i>Convolvulus cneorum</i>	Silver Bush	1.2m high x 1.0m wide
<i>Cordyline australis</i>	Cabbage Tree Palm	Up to 2.0m high
<i>Correa</i> 'Dusky Bells'	Native Fuschia (variety)	0.6m high x 2.0m wide
<i>Correa</i> 'Firebird'	Native Fuschia (variety)	1.0m high x 2.0m wide
<i>Correa alba</i>	White Correa	1.5m high x 1.5m wide
<i>Correa pulchella</i>	Native Fuschia	1.0m high x 1.0m wide
<i>Correa reflexa</i>	Native Fuschia	0.3m high x 1.2m wide
<i>Correa reflexa</i> 'Redex'	Native Fuschia (variety)	1.0m high x 1.0m wide
<i>Correa reflexa</i> var. <i>nummularifolia</i>	Native Fuschia (variety)	0.3m high x 1.5m wide
<i>Dodonaea viscosa</i> 'Purpurea'	Hop Bush (variety)	1.5-3.0m high x 1.5m wide
<i>Enchylaena tomentose</i>	Ruby Salt Bush	0.5m high x 0.7m wide
<i>Eremophila glabra</i> 'Green'	Emu Bush (variety)	0.7m high x 1.0m wide
<i>Eremophila glabra</i> 'Lime Gold'	Emu Bush (variety)	1.2m high x 1.5m wide
<i>Eremophila maculate</i>	Spotted Emu Bush	1.0m high x 1.0m wide
<i>Eutaxia microphylla</i>	Common Eutaxia	0.6m high x 0.6m wide
<i>Grevillea</i> 'Bronze Rambler'	Grevillea (variety)	0.3m high x 1.0 – 3.0m wide
<i>Grevillea</i> 'Superb'	Grevillea (variety)	1.0-1.5m high x 1.5m wide
<i>Grevillea obtusifolia</i>	Grevillea	0.5m high x 1.0 – 3.0m wide
<i>Hardenbergia</i> 'Happy Wanderer'	Coral Pea (variety)	0.6m high x 2.0m wide
<i>Hardenbergia</i> 'Mini Haha'	Coral Pea (variety)	0.6m high x 0.6m wide
<i>Hebe</i> 'Blue Gem'	Veronica (variety)	1.0m high x 1.0m wide
<i>Hebe</i> 'La Seduisante'	Veronica (variety)	1.25m high x 1.0m wide
<i>Hebe</i> 'Snowdrift'	Veronica (variety)	1.0m high x 1.0m wide
<i>Hebe</i> 'Wiri Gem'	Veronica (variety)	1.0m high x 1.0m wide
<i>Hebe</i> 'Wiri Image'	Veronica (variety)	1.2m high x 1.0m wide
<i>Pimelea ferrunginea</i> 'Bonne Petite'	Pink Rice Flower	0.8m high x 0.8m wide
<i>Rhagodia spinescens</i>	Saltbush	0.5m high x 0.5m wide
<i>Santolina chamaecyparissus</i>	Lavender Cotton	0.6m high x 1.0m wide
<i>Thryptomene saxicola</i>	Rock Thryptomene	1.0m high x 1.0m tall
<i>Westringia</i> 'Jervis Gem'	Native Rosemary (variety)	1.0m high x 1.0m wide
<i>Westringia</i> 'Milky Way'	Native Rosemary (variety)	1.0m high x 1.0m wide
<i>Westringia</i> 'Smokie'	Native Rosemary (variety)	1.5m high x 1.5m wide
<i>Xanthorrhoea quadrangulata</i>	Yacca	2.0m high (up to 4.0m with flower)

Appendix D

Landscape Guidelines

GROUNDCOVERS 2

Botanical Name	Common Name	Approximate Size
<i>Carpobrotus rossii</i>	Pig's Face	0.3m high x 2.0m wide
<i>Cerastium tomentosum</i>	Snow in Summer	0.2m high x 1.0m wide
<i>Coprosma kirkii</i>	Dwarf Mirror Plant	0.4m high spreading
<i>Myoporum parvifolium</i> (broad leaf form)	Creeping Boobialla	0.2m high x 1.0 – 3.0m wide
<i>Scaevola</i> 'Mauve Clusters'	Fan Flower	0.2m high x 0.4-1.0m wide
<i>Scaevola albida</i>	Pale Fan Flower	0.2m high x 0.4-1.0m wide
<i>Kennedia prostrata</i>	Scarlet Runner	Spreading to 2.0m
<i>Vittadinia australasica</i>	Sticky New Holland Daisy	Spreading to 0.5m
<i>Wahlenbergia stricta</i>	Tall Bluebell	Spreading to 0.3m

GRASSES

Botanical Name	Common Name	Approximate Size
<i>Dianella</i> 'Breeze'	Flax Lily (variety)	0.7m high x 0.65m wide
<i>Dianella</i> 'Cassa Blue'	Flax Lily (variety)	0.6m high x 0.4m wide
<i>Dianella</i> 'Little Jess'	Flax Lily (variety)	0.6m high x 0.4m wide
<i>Dianella</i> 'Little Rev'	Flax Lily (variety)	0.3m high x 0.3m wide
<i>Dianella</i> 'Silver Steak'	Flax Lily (variety)	0.6m high x 0.4m wide
<i>Dianella</i> 'Tas Red'	Flax Lily (variety)	0.6m high x 0.4m wide
<i>Isolepis nodosa</i>	Club Rush	1.0m high x 1.0m wide
<i>Lomandra</i> 'Katrinus'	Mat Rush (variety)	1.0m high x 1.0m wide
<i>Lomandra</i> 'Nyalla'	Mat Rush (variety)	0.75m high x 0.75m wide
<i>Lomandra</i> 'Tanika'	Mat Rush (variety)	0.5m high x 0.7m wide
<i>Lomandra</i> 'Wingarra'	Mat Rush (variety)	0.3m high x 0.3m wide
<i>Poa labillardieri</i> 'Eskdale'	Meadow Grass (variety)	0.6m high x 0.8m wide

TREES

Botanical Name	Common Name	Approximate Size
<i>Callitris preissii</i>	Southern Cypress Pine	10.0m high
<i>Eucalyptus cosmophylla</i>	Cup Gum	4.0m high
<i>Eucalyptus ficifolia</i> 'Orange Splendour'	Flowering Gum	6.0m high x 4.0m wide
<i>Eucalyptus ficifolia</i> 'Summer Red'	Flowering Gum	6.0m high x 4.0m wide
<i>Eucalyptus leucoxylon</i> subssp. <i>Megalocarpa</i>	Large fruited SA Blue Gum	7.0m high
<i>Lagerstroemia indica</i> x <i>L. fauriei</i> 'Biloxi'	Crepe Myrtle	6.0m high x 4.0m wide
<i>Lagerstroemia indica</i> x <i>L. fauriei</i> 'Natchez'	Crepe Myrtle	6.0m high x 4.0m wide
<i>Pittosporum phylliraeoides</i>	Native Apricot	12.0m high
<i>Pyrus ussuriensis</i>	Manchurian Pear	12.0m high x 8.0m wide

Appendix E

The Approval Process

REVIEW GUIDELINES

Review the Guidelines and check the specific requirements for your site.



PRELIMINARY DESIGN (OPTIONAL)

Work with your architect or builder to prepare a preliminary site and house plan. This can be a simple sketch, rough layout or copy of a builder's house plan that you would like to build on your site. Discuss your preliminary design with The Barossa Council before you finalise the design.



FINALISE THE DESIGN



APPLICATION

Prepare and submit a Development Application form together with your house and landscape design plans to The Barossa Council for approval. The approval process is in two parts: planning approval (Development Plan Consent) followed by building approval (Building Rules Consent). Full Development Approval is given only after planning and building approval has been obtained.



COUNCIL APPROVAL

Once Development Approval has been issued by The Barossa Council, you may commence building your home.



CONSTRUCTION



INSPECTION

Once construction is completed the Encumbrance Manager may inspect the works to check compliance with the Design Guidelines.



For further information regarding allotment availability,
house and land packaging and other important information, visit:

angasviews.com.au